

# BDP. Quadrangle

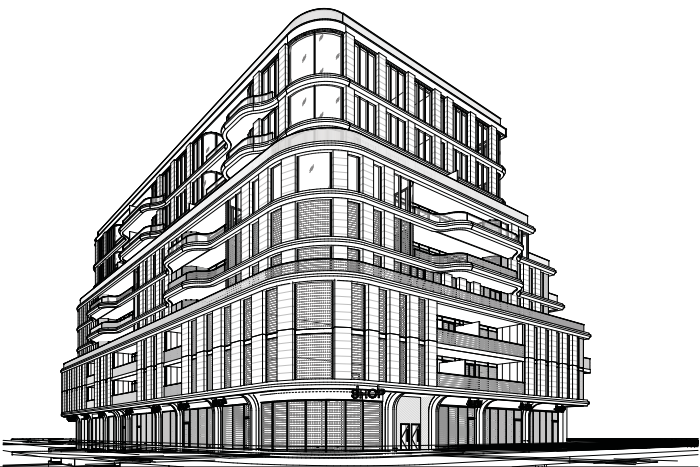
Quadrangle Architects Limited  
901 King Street West, Suite 701 Toronto, ON M5V 3H5  
t 416 598 1240 www.bdpquadrangle.com

## 1648-1670 Avenue Road

Toronto, ON

for  
STARBANK DEVELOPMENTS GROUP

Project No. 20043  
Date 2021-10-22  
Issued for ISSUED FOR REZONING AND SPA



### ARCHITECTURAL DRAWINGS

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A101.0 Site Plan  
A101.1 Landscape/Paving  
A200.0 Ground Floor and Basement Plan  
A200.1 Floor 1 & 2 Plan  
A200.2 Floor 3 & 4 Plan  
A200.3 Floor 5 & 6 Plan  
A200.4 Floor 7 & 8 Plan  
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### PLANNING CONSULTANT

Gilberg Group  
2008 Avenue Road  
Toronto ON M5M 4A8  
T 416-322-4304

### TRANSPORTATION CONSULTANT

WSP Transportation  
100 Commerce Valley  
Drive West, Thornhill, ON  
L3T 0A1  
T (905) 882-1100

### LANDSCAPE ARCHITECT

STUDIO 1a  
20 Champlain Blvd, North  
York, ON M2H 2Z1  
T (416) 638-4911

### SITE SERVICING CONSULTANT

Counterpoint Engineering  
Inc. 8395 Jane Street,  
Suite 100, Vaughan ON,  
L4K 5T2  
T (905) 326-1404

### HYDROGEOLOGICAL CONSULTANT

Soil Engineers Ltd.  
90 West Beaver Creek Road,  
Suite #100, Richmond Hill, ON  
L4B 1E7  
T (416) 754-8515

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### 1648-1670 Avenue Road

Toronto, ON

for  
STARBANK DEVELOPMENTS GROUP

Project No. 20043  
Date 02/1/13  
Issued for Coordination

	Floor	GBA/Typ. Floor (sqm)	No. Typ. Floors	GBA Gross Building Area (no exclusions)		569-2013 GFA Exempt* (sqm)	City-Wide By-Law 569-2013				Floor	Suite Breakdown					
				GFA (Res)			GFA (Non-Res)		1B	1B+D		2B	2B+D	3B	Total Suites		
				sqm	sf		sqm	sf								sqm	sf
ABOVE GRADE	MPH/Amenity	473	1	473	5,091	191.0	282	3,035			MPH/Amenity						
	Floor 8-9	1,290	2	2,580	27,771	80.0	2,500	26,910			Floor 8-9			4	6	10	
	Floor 7	1,290	1	1,290	13,888	40.0	1,250	13,455			Floor 7				6	6	
	Floor 6	1,490	1	1,490	16,038	40.0	1,450	15,608			Floor 6				6	6	
	Floor 4-5	1,640	2	3,280	35,306	80.0	3,200	34,445			Floor 4-5			2	10	6	
	Floor 3	1,900	1	1,900	20,452	40.0	1,860	20,021			Floor 3			2	3	4	
	Floor 2	1,900	1	1,900	20,452	40.0	1,860	20,021			Floor 2			3	2	4	
	Mezzanine	69	1	69	743	49.0	20	215			Mezzanine						
	Ground	1,686	1	1,686	18,148	307.0	549	5,911	829.9	8,933	Ground			7	19	32	
	Total Above Grade			14,668	157,886		12,971	139,621	829.9	8,933		0	0			32	
BELOW GRADE	P1	2,548	1	2,548	27,427	2,398.0	150			% of Suite Type	0%	0%	12%	33%	55%		
	P2	1,465	1	1,465	15,766	1,315.0	150										
	TOTAL			18,681.0	201,082		13,271										
					Interior Amenity Deductin		116										
					Total GFA	13,155	141,601.50	830.0	8934.12								
FSI	Lot Area					3,047.25				Amenity							
	Combined RES & NON-RES Gross Floor Area Totals					13,985		by-law 569-2013		Indoor Amenity							
	Res and Non-Res Floor Space Index					4.32		R		0.27		Required = 2sm/unit = 116sqm Provided = 445.0sqm*					
	Floor Space Index (FSI)					4.59				Outdoor Amenity							
										Required = 40 sqm 40sqm Provided = 500.0sqm							
										Total Required 45sm/unit 232sqm Provided = 945.0sqm							

The STATS below are based on requirements as per the Toronto City-Wide Zoning bylaw 569-2013 and the Toronto Green Standard v3

Loading Spaces	Required		Provided		Bicycle Parking	Required		Provided		Vehicle Parking	Required		Provided	
	Residential	Commercial	Residential	Commercial		Residential	Commercial	Residential	Commercial		Residential	Commercial	Residential	Commercial
4-600 Dwelling Units	58 Unit	120	1	120	TOTAL	0.7 x 58	0.1 x 58	40	76	TOTAL	0.7 x 58	0.1 x 58	40	76
Retail and Office	829.9 sm	120	120	120		0.1 x 58	0.1 x 58	5	7		0.1 x 58	0.1 x 58	5	7
Total Required Loading			1	1										
Garbage Room Size (Residential only)			10	10										
Back Vehicle Storage Space			10	10										

Working Space Location	Required		Provided		Amenity Space	Required		Provided		Notes	Required		Provided	
	Residential	Commercial	Residential	Commercial		Residential	Commercial	Residential	Commercial		Residential	Commercial	Residential	Commercial
Surface	Occupant	Motor	0	0	TOTAL	0.7 x 58	0.1 x 58	40	76	TOTAL	0.7 x 58	0.1 x 58	40	76
P1	27	12	0	0		0.1 x 58	0.1 x 58	5	7		0.1 x 58	0.1 x 58	5	7
P2	36	0	0	0										
TOTAL	63	12	0	0										
Ratio	1.09													
Total of 4 Accessible parking spaces provided. Total of 18 parking spaces with EVSE is included in total														

General Project Description	Required	Provided
Number of parking spaces dedicated to priority LEV parking	10	10
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#### Section 3. For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Application Information	Required	Provided
Number of parking spaces dedicated to priority LEV parking	10	10
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#### Section 3. For Site Plan Control Applications

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Application Information	Required	Provided</
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Context Plan  
SCALE 1:100



Site Key Plan  
SCALE 1:100

TOPOGRAPHIC SURVEY OF  
LOTS 103, 104, 105 AND 106  
REGISTERED PLAN 2371  
CITY OF TORONTO

SCALE 1:100

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED  
ONARIO LAND SURVEYORS  
2017



ELEVATION NOTE

ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF TORONTO BENCHMARK NO. HY16022

LOCATION: SOUTH FACE FORESTED GARAGE 1677 AVENUE ROAD BRIMS PLACIDE 0.18m EAST OF SOUTHWEST CORNER OF BRICK 0.70m ABOVE GROUND LEVEL

ELEVATION: PUBLISHED ELEVATION = 177.200 metres

BEARING NOTE

BEARINGS SHOWN HEREON ARE ASTROMERIC AND ARE REFERRED TO THE NAD83 DATUM OF 1983. BEARINGS ARE SHOWN ON BOUNDARIES ACT PLAN 8A-1481, HAVING A BEARING OF N17°21'10"W

LEGEND

SYMBOL	DESCRIPTION
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100	WITNESS MONUMENT

UPDATE NOTE

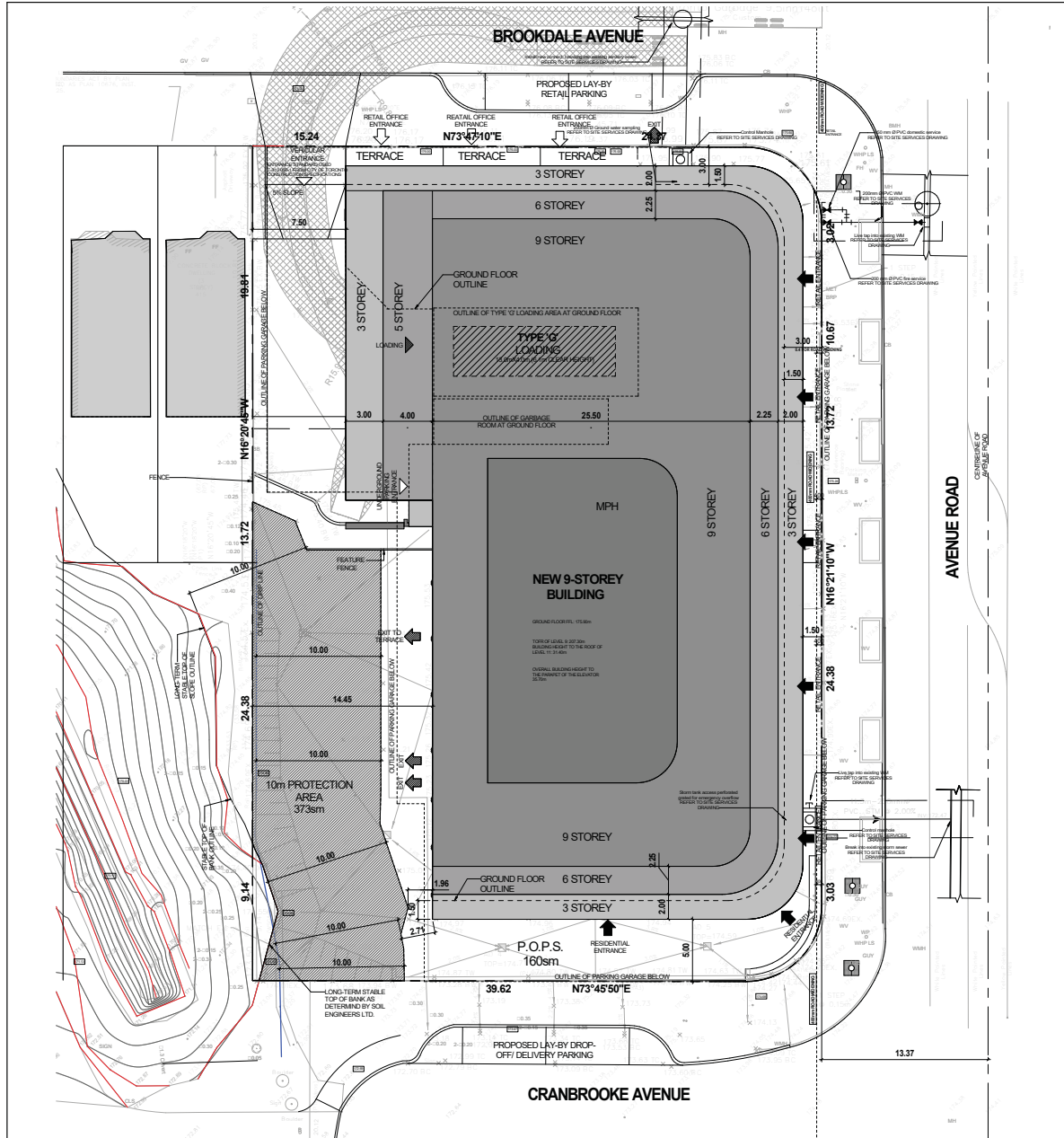
PLAN UPDATED DECEMBER 2020 / FEBRUARY 2021 TO INDICATE TOP AND BOTTOM OF SLOPE WEST OF PROPERTY

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM;
2. THE SURVEY WAS COMPLETED ON JUNE 23rd, 2017.

DATE: JUNE 28th, 2017

NAME	COMPANY	DATE
SPEIGHT, VAN NOSTRAND & GIBSON LIMITED	ONARIO LAND SURVEYORS	2019577
750 BRIMLEY ROAD, SUITE 50 & 58	TORONTO, ONTARIO M3N 2Z4	
TEL: 416 749-7800 / FAX: 416 749-7888		
E-MAIL: Toronto@svng.com		
DRAWN: E. D. J. P. B.	FILE NAME: A1700189.DWG	
CHECKED: D. A. M.	PLUT SCALE: MET 1:40.20	
JOB No.: 170-0189	PLUTED: June 7, 2017	
REF. No.: 77-2371	UPDATED:	



1 SITE PLAN  
SCALE 1:100

SITE PLAN LEGEND

- PROPOSED 9-STOREY BUILDING
- MAIN BUILDING ENTRANCE
- RETAIL ENTRANCE
- EXIT
- VEHICLE LOADING ENTRANCE: EXIT
- FIRE HYDRANT
- DRAINAGE CONNECTION
- MANHOLE COVER
- AREA DRAIN
- CATCH BASIN
- FLOOR DRAIN (PARKING SLAB)
- FLOOR DRAIN (INTERIOR)
- EXISTING LIGHT
- TYPICAL PARKING SPACE
- TYPICAL BAY PARKING SPACE
- PROPOSED ELEVATION
- TOP OF ROOF
- BUILDING ENVELOPE
- FIRE ACCESS ROUTE (HEAVY DUTY PARKING)
- ASSEMBLY TO BE DESIGNED TO MEET THE LOADS IMPOSED BY FIRE FIGHTING EQUIPMENT
- GREEN ROOF
- TERMINAL HOUSE

Date	No.	Description
REVISIONS		

Date	No.	Description
REVISIONS		

BDP.  
Quadrangle

Quadrangle Architects Limited  
4100 Yonge Street, Suite 100, Toronto, Ontario M3J 1P3  
416 598 1200 - www.bdpquadrangle.com

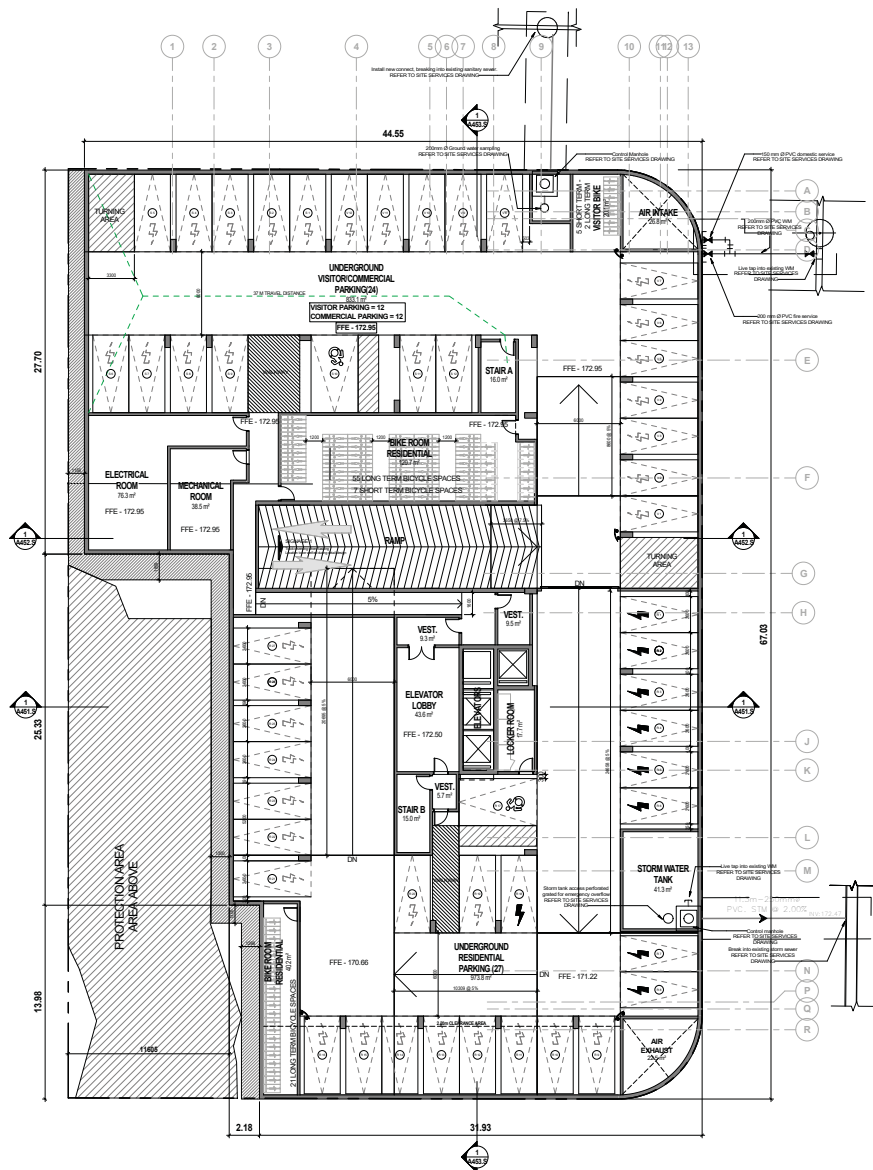
1648-1670 Avenue Road  
Toronto, ON  
for STARBANK DEVELOPMENTS GROUP

2043 1:125 ED MR  
PROJECT SCALE DRAWING REVIEW

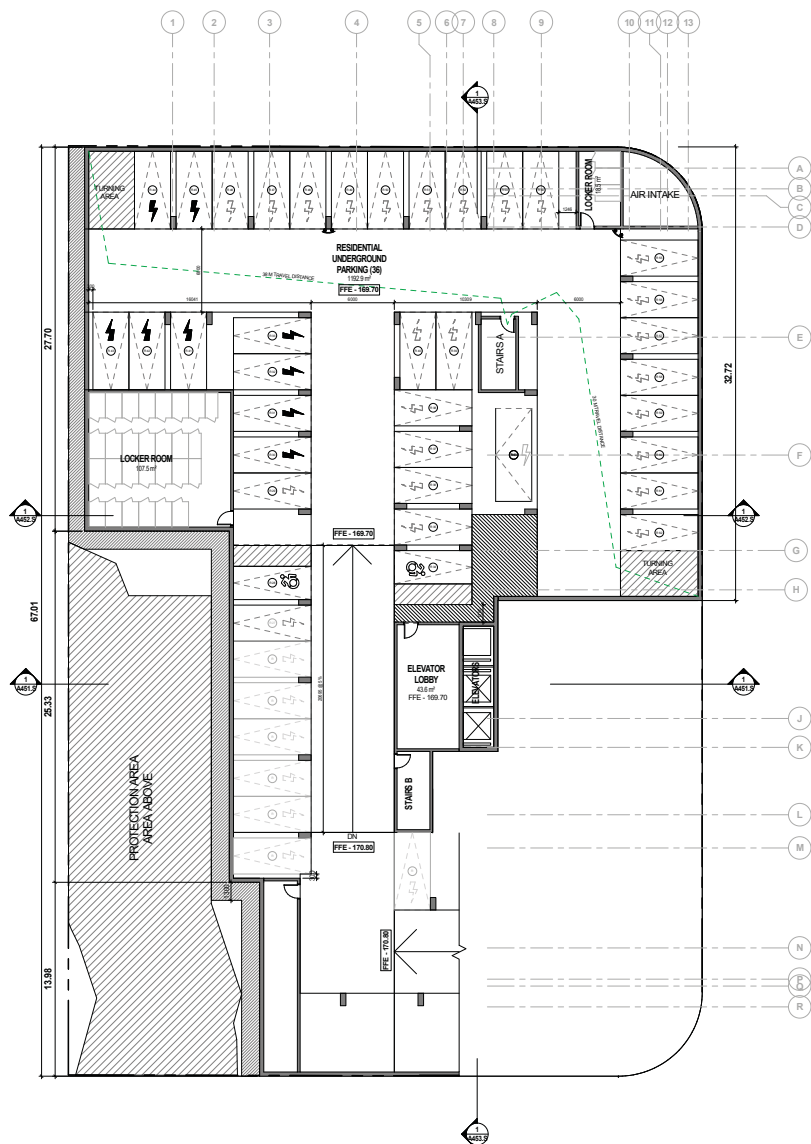
Site Plan

A101.S

Note: This drawing is the property of the architect and shall not be reproduced or used for any other purpose without the written consent of the architect. The architect is not responsible for the accuracy of the information provided by the client or for the results of the construction of the project. The architect is not responsible for the accuracy of the information provided by the client or for the results of the construction of the project.



2 UNDERGROUND PARKING P1  
A151.S



1 UNDERGROUND PARKING P2  
A151.S

**PARKING NOTES:**

1. MINIMUM PARKING SPACE SIZES (UNLESS OTHERWISE NOTED):  
 COMMERCIAL VEHICLES: 8.0m x 3.0m (26' x 10') (SEE NOTE 1)  
 RESIDENTIAL VEHICLES: 2.4m x 0.9m (8' x 3') (SEE NOTE 1)  
 BICYCLES: 0.6m x 0.2m (2' x 0.7') (SEE NOTE 1)

2. MINIMUM CLEARANCE HEIGHTS (UNLESS OTHERWISE NOTED):  
 2.1. MINIMUM CLEARANCE HEIGHTS: 2.1m (6' 9") (SEE NOTE 1)  
 2.2. MINIMUM CLEARANCE HEIGHTS: 2.1m (6' 9") (SEE NOTE 1)

**PARKING LEGEND:**

COMMERCIAL PARKING SPACE  
 RESIDENTIAL PARKING SPACE  
 BICYCLE PARKING SPACE

CONCRETE PAVEMENT  
 ASPHALT PAVEMENT  
 ASPHALT PAVEMENT WITH CURB

STANDARD PARKING SPACE  
 ACCESSIBLE PARKING SPACE  
 ACCESSIBLE PARKING SPACE WITH VAN ACCESS

**BICYCLE LEGEND:**

STANDARD BICYCLE  
 ACCESSIBLE BICYCLE  
 ACCESSIBLE BICYCLE WITH VAN ACCESS

**REVISION RECORD**

Date	No.	Description
2021.10.27	1	ISSUED FOR PERMITTING AND SPA

**SCALE RECORD**

1:100

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 Toronto, ON  
 for  
 STARBANK DEVELOPMENTS  
 GROUP

20043.1:125 ED MR  
 PROJECT SCALE DESIGN REVIEW

Underground Parking

**A151.S**

**TRAFFIC CONTROL SIGN LEGEND:**

PREPARE TO STOP WHEN FLASHING  
 CAUTION: TRUCK MANOEUVRING AHEAD

**SIGN MOUNT LEGEND:**

STANDARD SIGN  
 SIGN WITH MOUNT  
 SIGN WITH MOUNT AND CURB

**PAVEMENT MARKING LEGEND:**

STANDARD PAVEMENT MARKING  
 ACCESSIBLE PAVEMENT MARKING  
 ACCESSIBLE PAVEMENT MARKING WITH VAN ACCESS

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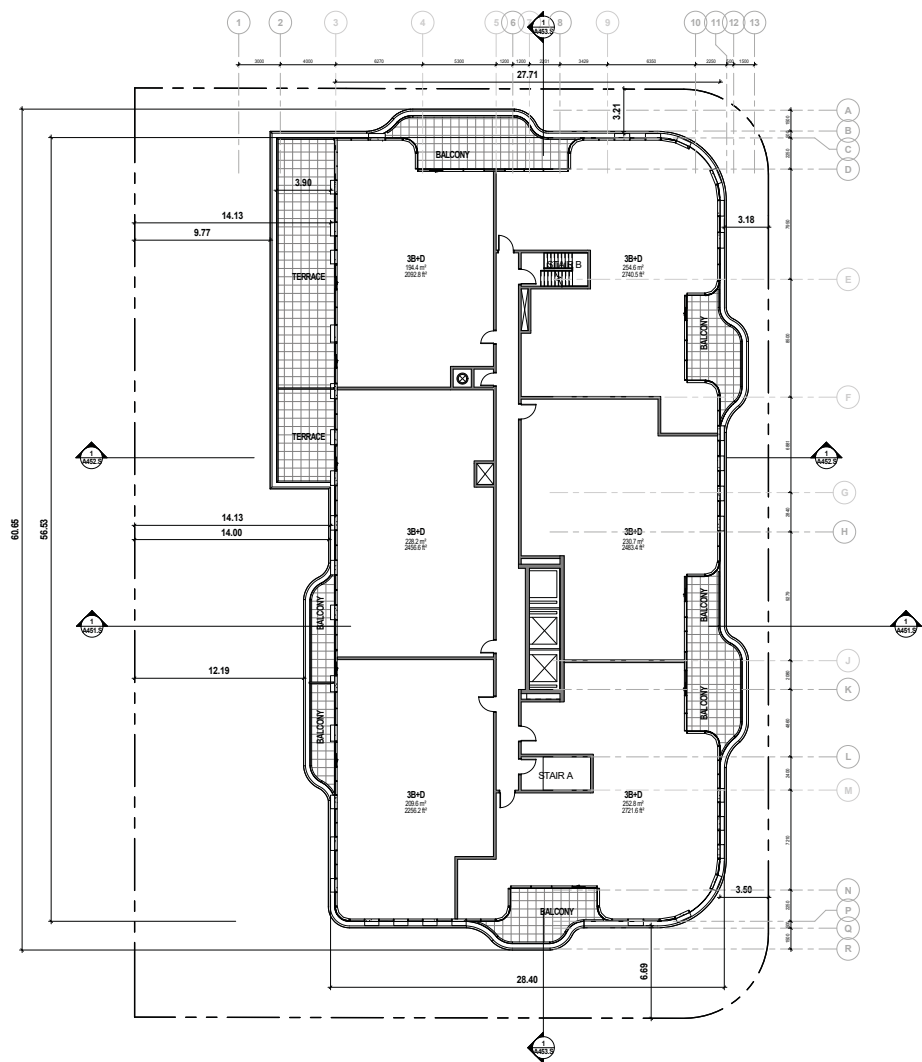
A circle divided into four equal sectors, with one sector shaded black.

A201.S

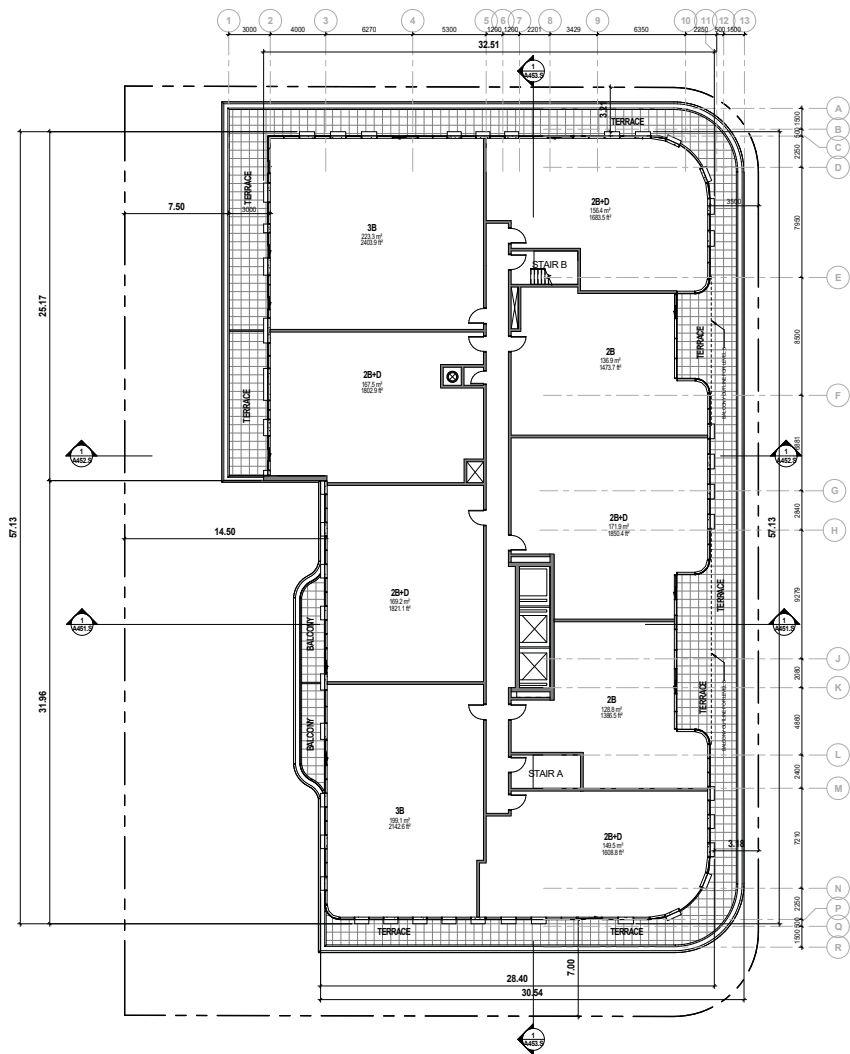
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2 LEVEL 6 FLOOR PLAN  
SCALE: 1" = 12'



1 LEVEL 4-5 FLOOR PLAN  
SCALE: 1" = 12'

Date	By	Description
		REVISION RECORD

Date	By	Description
		REVISION RECORD



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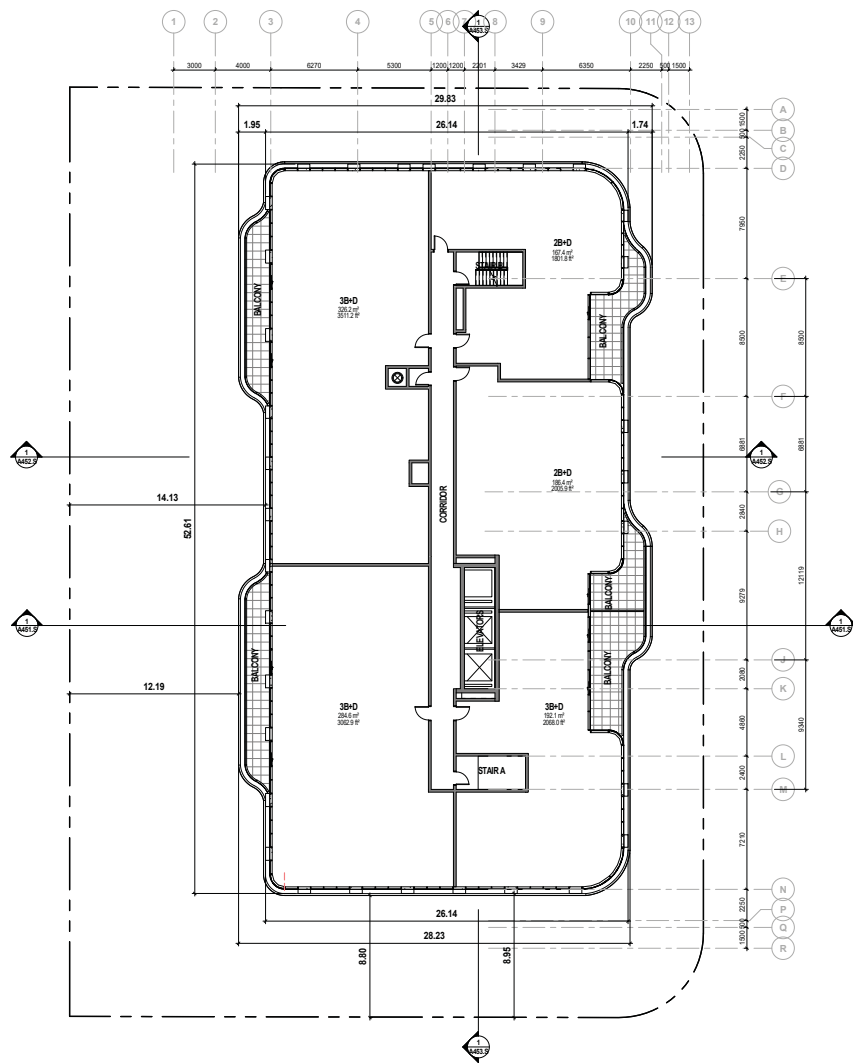
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PROJECT SCALE DESIGN REVIEWED

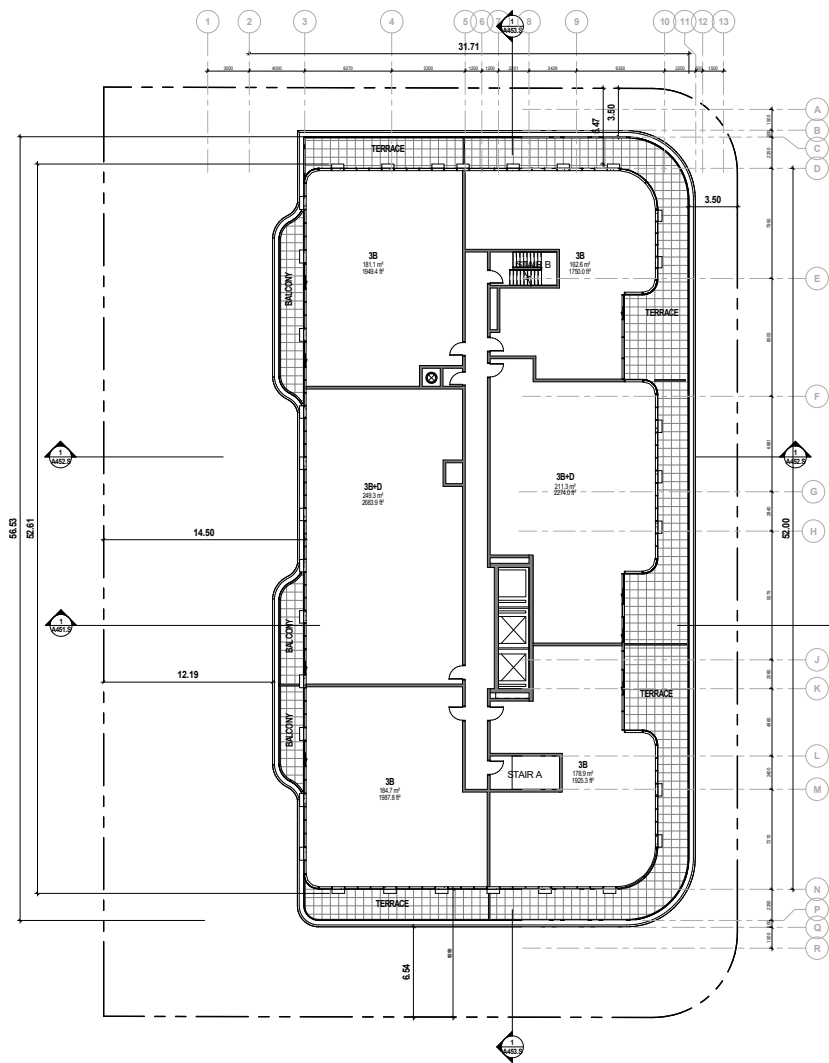
Floor 4, 5 & 6 Plan

**A203.S**

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2 LEVEL 8-9 FLOOR PLAN



1 LEVEL 7 FLOOR PLAN

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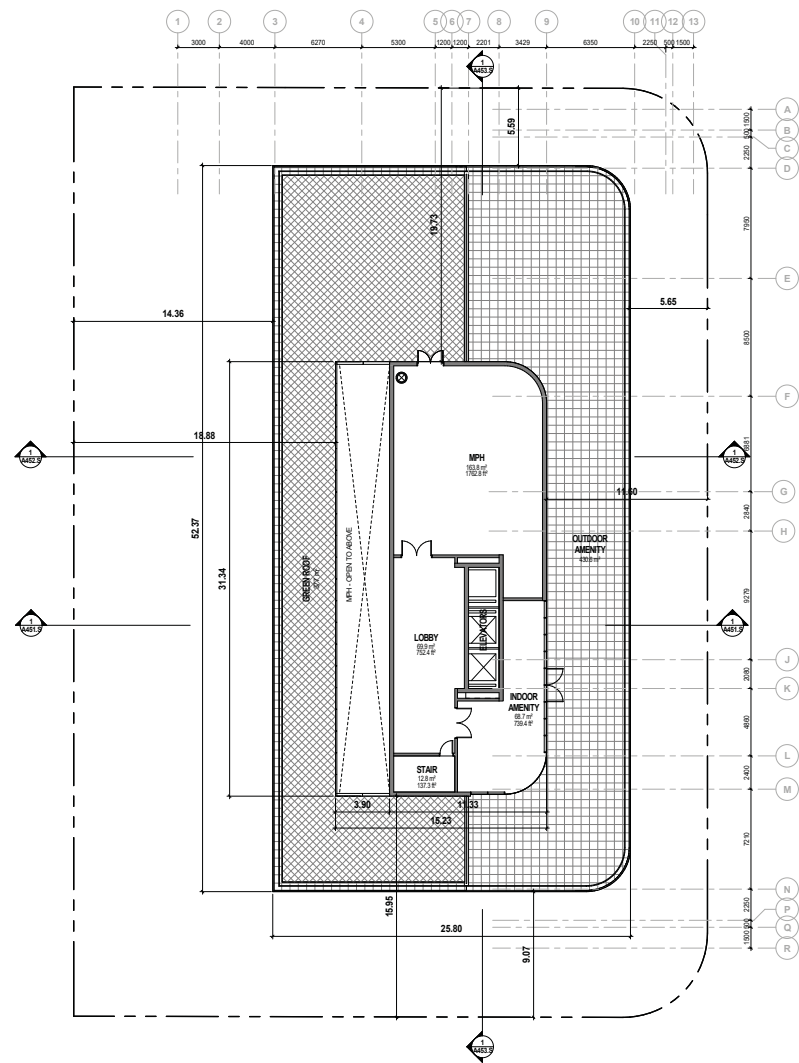
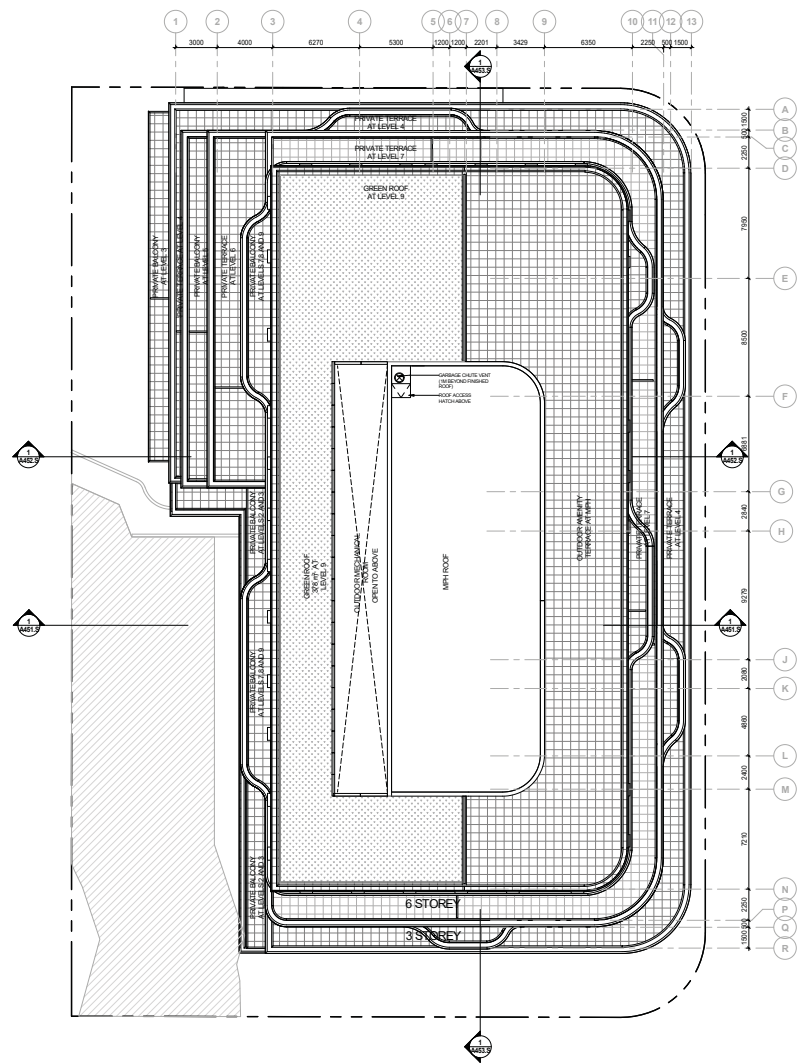
20043 1:125 ED MR  
PROJECT SCALE DESIGN REVIEWED

Floor 7, 8 & 9 Plan

**A204.S**

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20043 1 : 125	ED MR
PROJECT SCALE	DRAWN REVIEWED

MPH &amp; Roof Plan

A205.S

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1 EAST ELEVATION  
A401.S

LEGEND:

- BRICK - COLOUR 1
- BRICK - COLOUR 2
- CLADDING MATERIAL 1
- CLADDING MATERIAL 2
- CLADDING MATERIAL 3
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Date: 10/10/2023

REVISION RECORD

2021.10.27 ISSUED FOR 10/10/2023 AND 10/10/2023

ISSUE RECORD

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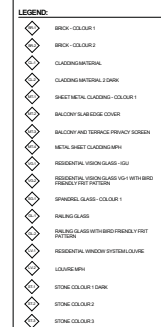
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Toronto, ON  
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GROUP

20043 1:100 ED MR  
PROJECT SCALE DRAWING NUMBER

East Elevation

**A401.S**

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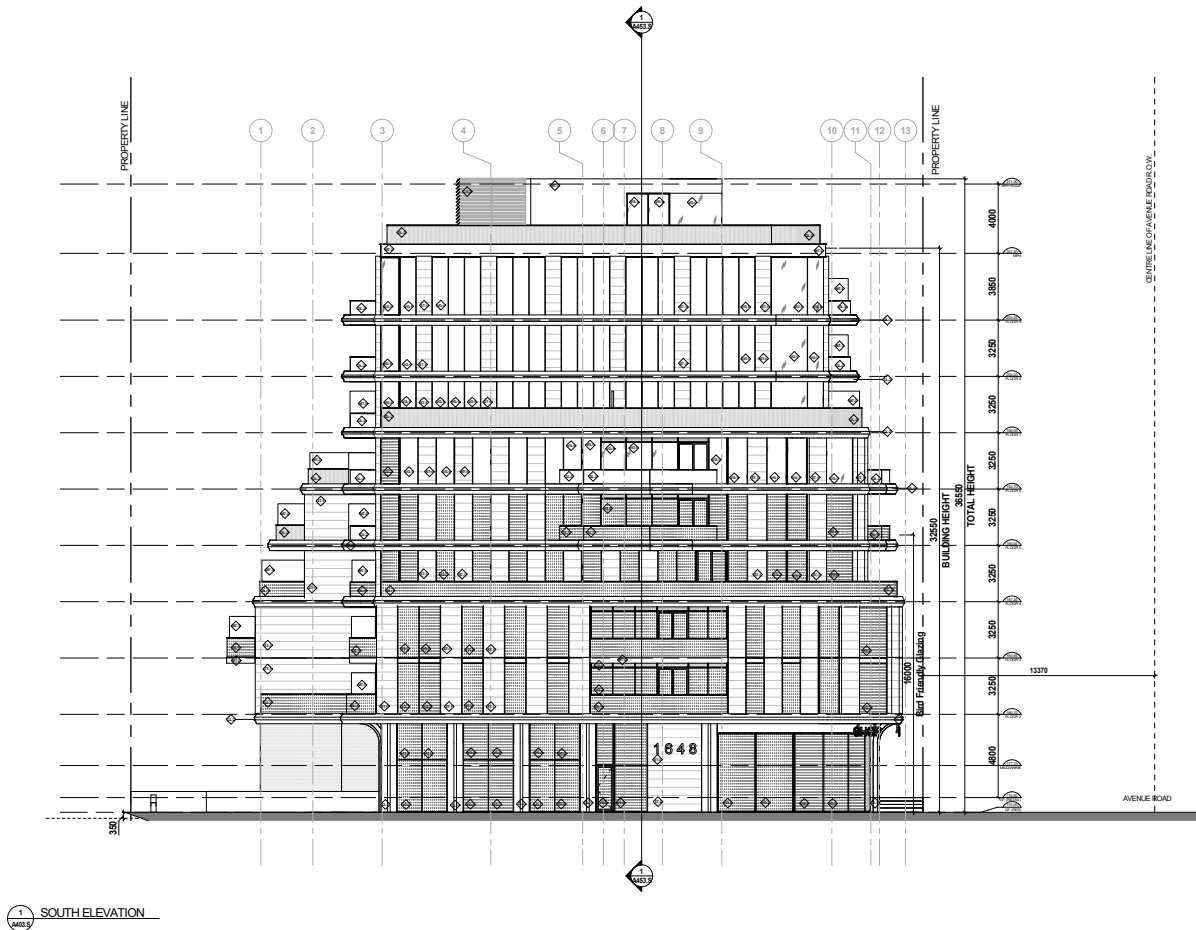


3

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A402.S

responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.



LEGEND:

- BRICK - COLOUR 1
- BRICK - COLOUR 2
- CLADDING MATERIAL - COLOUR 1
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- CLADDING MATERIAL - COLOUR 100

Date: 2004.3  
Revision: 1

REVISION RECORD

2004.3-2004.4  
ISSUE RECORD

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2004.3 1:100 ED RC  
PROJECT SCALE DESIGN REVIEW

South Elevation

A403.S

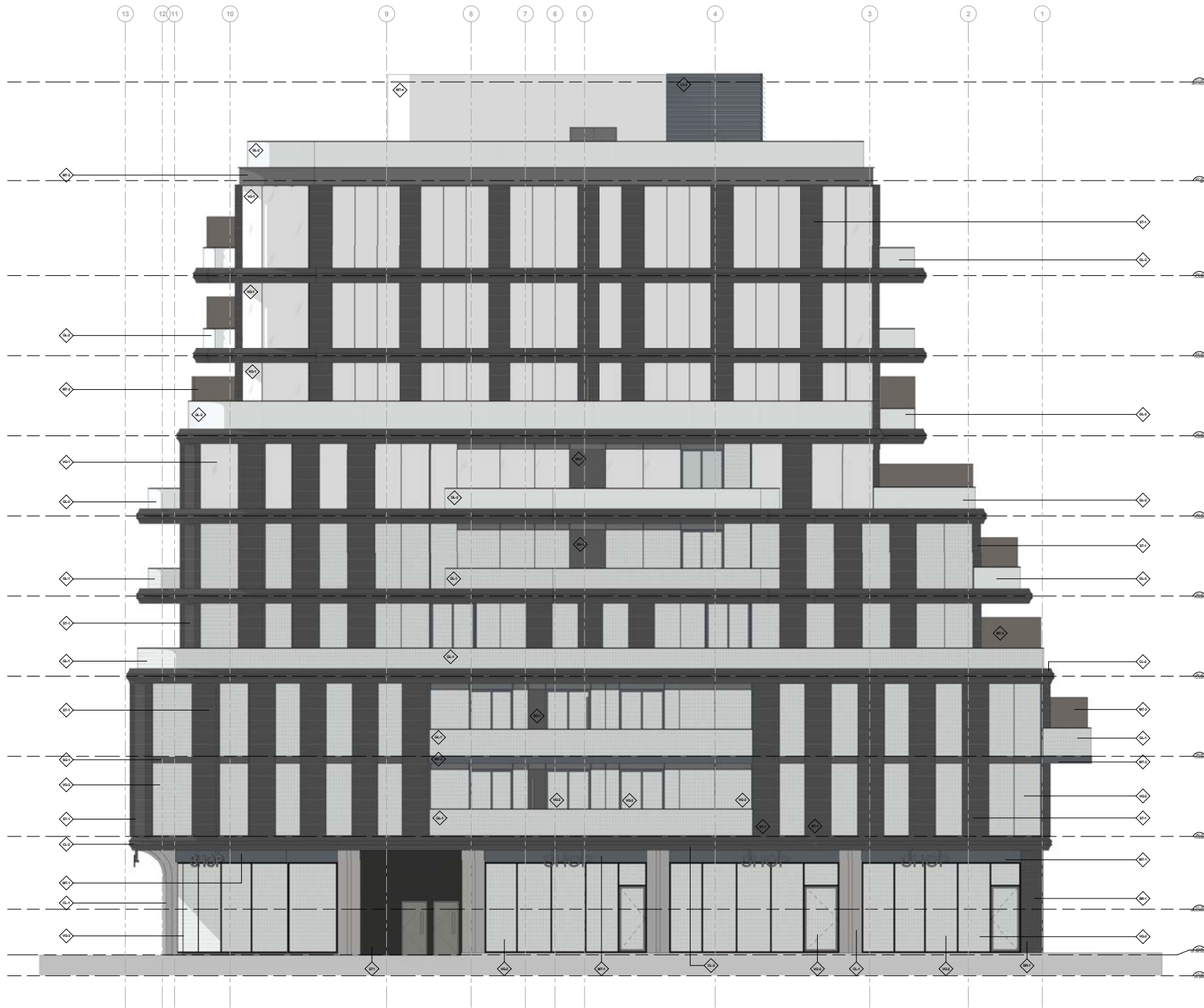
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LEGEND:

- BRICK - COLOUR 1
- BRICK - COLOUR 2
- CLADDING MATERIAL
- CLADDING MATERIAL 2 DARK
- SHEET METAL CLADDING - COLOUR 1
- BALCONY SLANDGE COVER
- BALCONY AND TERRACE PRIVACY SCREEN
- METAL SHEET CLADDING-MPH
- RESIDENTIAL VISIONGLASS-GU
- RESIDENTIAL VISIONGLASS VGT WITH BIRD PROOFING DETECTION
- SPANDREL GLASS - COLOUR 1
- RAILING GLASS
- RAILING GLASS WITH BIRD FRIENDLY FRET PATTERNS
- RESIDENTIAL VISION SYSTEM GLASS
- LOUVER MPH
- STONE COLOUR 1 DARK
- STONE COLOUR 2
- STONE COLOUR 3

REVISION RECORD

Date	No.	Description
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20043 1:50 ED RC  
PROJECT SCALE DRAWING REVIEWED

Colour North Elevation

**A405.S**

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LEGEND:

- BRICK - COLOUR 1
- BRICK - COLOUR 2
- CLADDING MATERIAL 1
- CLADDING MATERIAL 2 DARK
- SHEET METAL CLADDING - COLOUR 1
- BALCONY SLURRIDGE COVER
- BALCONY AND TERRACE PRIVACY SCREEN
- METAL SHEET CLADDING-MPH
- RESIDENTIAL VISIONGLASS - G1
- RESIDENTIAL VISIONGLASS G1 WITH GRID FINISH - 1ST FLOOR
- SPANDREL GLASS - COLOUR 1
- RAILING GLASS
- RAILING GLASS WITH GRID FINISH - 1ST FLOOR
- RESIDENTIAL WINDOW SYSTEM GLASS
- CLADDING-MPH
- STONE COLOUR 1 DARK
- STONE COLOUR 2
- STONE COLOUR 3

Date	No.	Description
REVISION RECORD		

Date	No.	Description
ISSUE RECORD		

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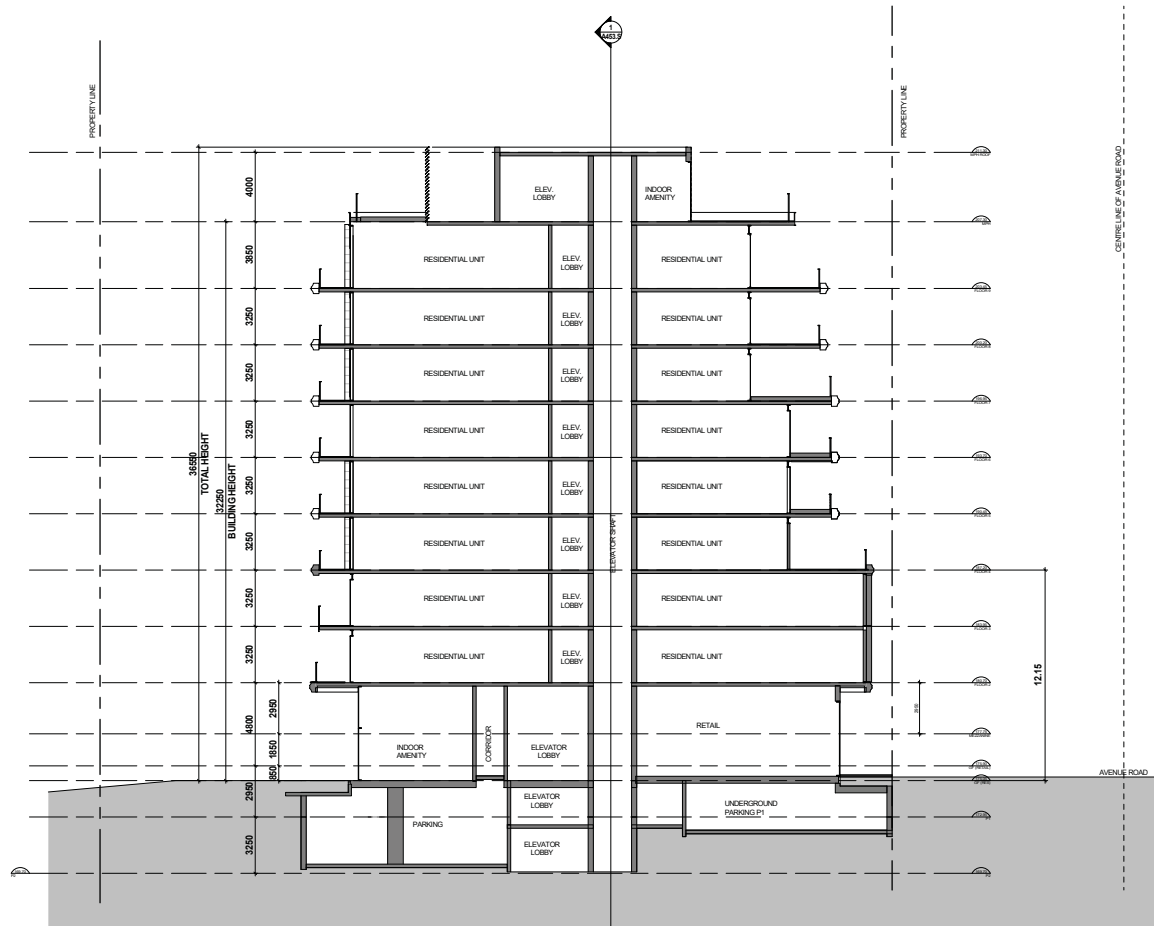
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PROJECT SCALE DRAWING REVIEW

Colour East Elevation

**A407.S**

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East-West Section  
SCALE: 1:100

Date	No.	Description
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2017.10.27 ISSUED FOR EXAMINATION AND SPA

REVISION RECORD

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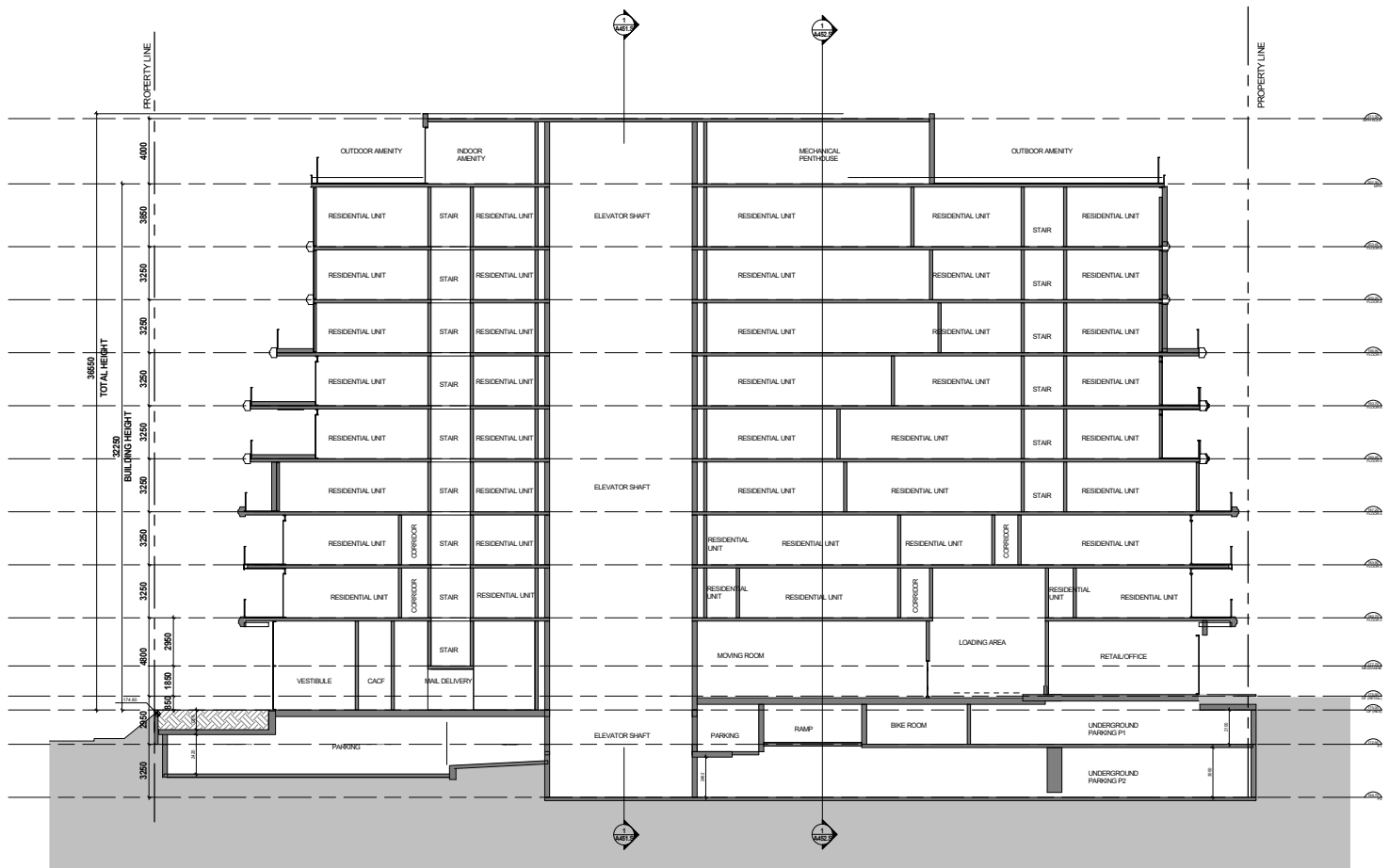
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20043 1:100 OK RC  
PROJECT SCALE DESIGN REVIEW

East-West Section

# A451.S

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1 North-South Section  
SCALE: 1:100

Date	No.	Description
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REVISION RECORD

2021.10.22 ISSUED FOR EXHIBIT AND SPA

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20043 1:100 OK RC  
PROJECT SCALE DRAWN REVIEWED

North-South Section

A453.S

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